



May 14, 2015

Steven Askew and Leah Kucera  
1099 Plunkton Road  
Warren, VT 05674

RE: Wastewater System – Addition of Studio/Home Occupation  
Plunkton Road, Warren  
McCain Project No. 29063

Dear Steve and Leah,

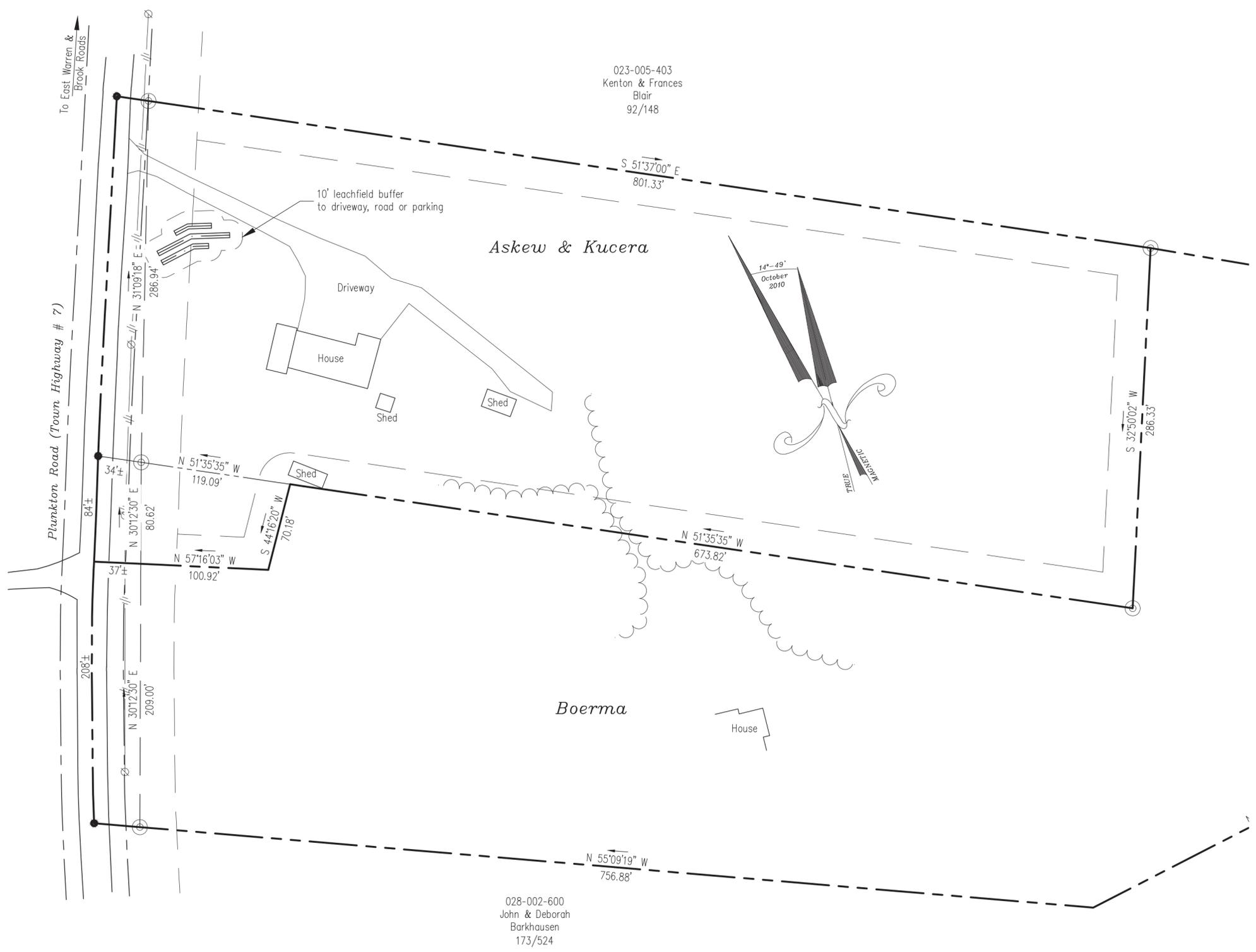
Per our discussion, this letter is in reference to your proposed studio addition to be used as a space for home occupation. The proposed detached addition includes a bathroom space that would be tied into the boiler room of the main house via a low-grade pipe, and subsequently tied into the main sewer line for the house and to the existing leachfield. Per the Wastewater System and Potable Water Supply design rules section 1-304(a)(7), this is an acceptable use and would not result in any additional design flow. As such, the wastewater system is adequately sized to accommodate the studio.

Please feel free to call with any questions or concerns you may have.

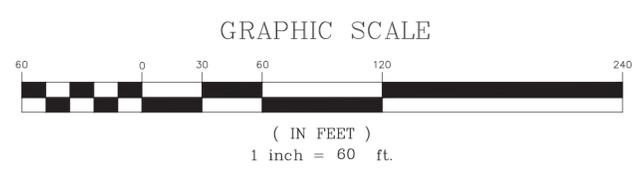
Sincerely,  
McCain Consulting, Inc.

A handwritten signature in black ink, appearing to read 'G. McCain Jr.', with a horizontal line extending to the right.

George N. McCain Jr., P.E.

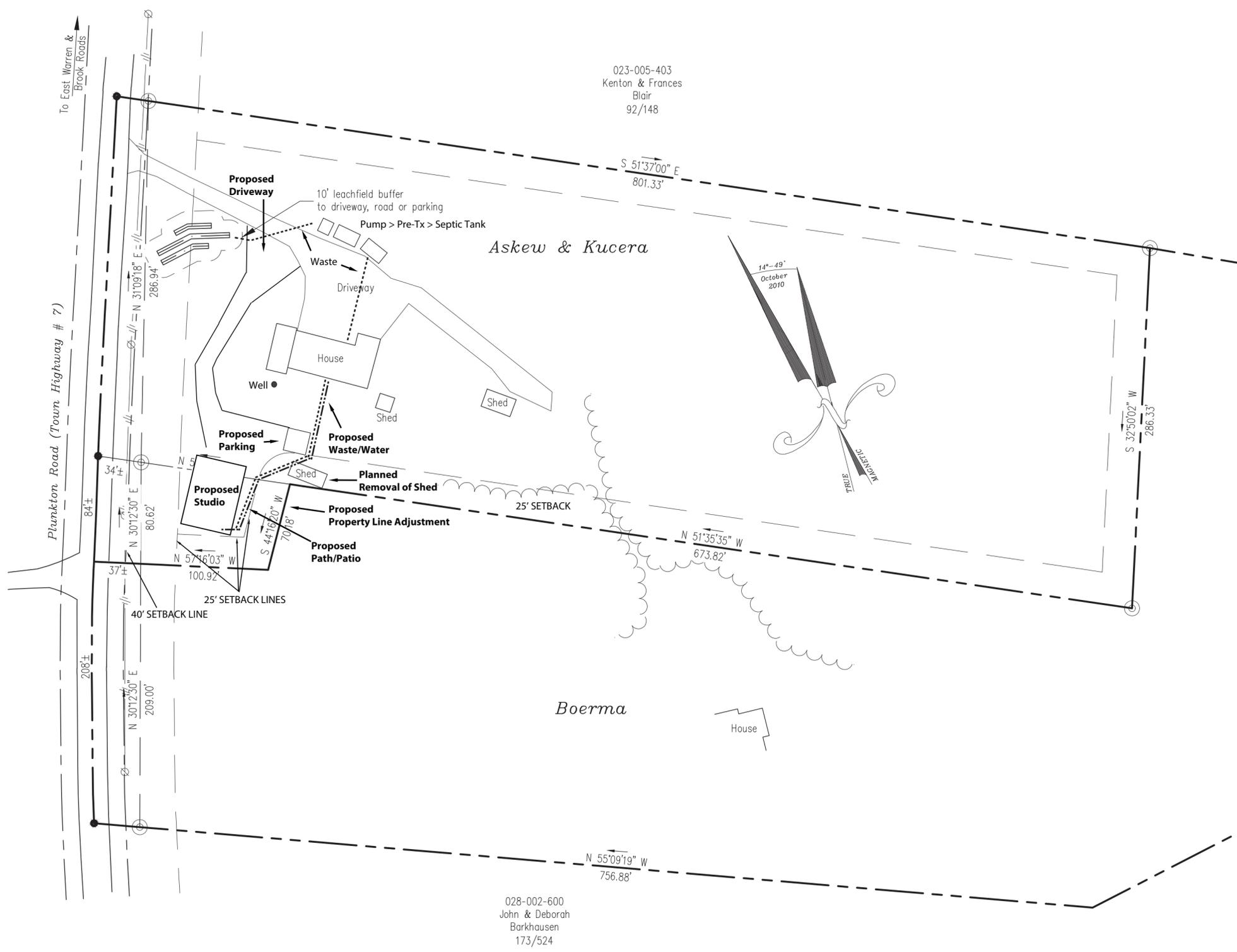


<u>Lot</u>	<u>Original Lot Size</u>	<u>Deducted from Lot</u>	<u>Added to Lot</u>	<u>Proposed Lot Size</u>	<u>Percent Change</u>
Askew/Kucera	5.41± Acres	0± Acres	+0.26± Acres	5.67± Acres	+9.64%
Boerma	13.1± Acres	-0.26± Acres	+0± Acres	12.8± Acres	-1.99%

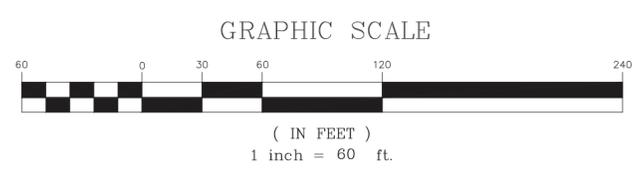


PRELIMINARY	BOUNDARY LINE ADJUSTMENT OF THE LANDS OF <b>Steve Askew &amp; Leah Ellen Kucera</b> and <b>Hans &amp; Laurie Boerma</b>	
	Plunkton Road	Warren, Vermont
SCALE : 1" = 60' PROJECT : Mc29063 DRAWING : 29063sv.DWG		McCain Consulting, Inc. 93 South Main Street Waterbury, Vermont 05676
DATE: April 29, 2015		SHEET 1 OF 1

Keith R. Van Iderstine, L.S. 719  
This map complies with  
27 VSA 1403 and 26 VSA 2596



Lot	Original Lot Size	Deducted from Lot	Added to Lot	Proposed Lot Size	Percent Change
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PRELIMINARY

BOUNDARY LINE ADJUSTMENT OF THE LANDS OF

**Steve Askew & Leah Ellen Kucera**

**and Hans & Laurie Boerma**

Plunkton Road Warren, Vermont

SCALE : 1" = 60'

PROJECT : Mc29063

DRAWING : 29063sv.DWG

**McCAIN CONSULTING, INC.**

93 SOUTH MAIN STREET

WATERBURY, VERMONT 05676

Keith R. Van Iderstine, L.S. 719

This map complies with  
27 VSA 1403 and 26 VSA 2596

DATE: April 29, 2015

SHEET 1 OF 1

**GENERAL NOTES**

- ALL WORK PERFORMED SHALL BE IN STRICT COMPLIANCE WITH GOVERNING FEDERAL, STATE, AND LOCAL BUILDING CODE REQUIREMENTS INCLUDING INTERNATIONAL CODE, EXECUTED IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS, AND CONFORM TO SPECIFIC REGULATIONS AS MANDATED BY THE DESIGNER. IT SHALL BE THE OWNER'S RESPONSIBILITY TO INSURE THE PROCUREMENT OF ALL REQUIRED AND NECESSARY PERMITS AND APPROVALS PRIOR TO THE COMMENCEMENT OF ANY WORK AND CERTIFICATE OF OCCUPANCY UPON COMPLETION OF PROJECT.
- HANDICAP LAW COMPLIANCE:**  
THESE PLANS HAVE BEEN PREPARED IN CONFORMITY WITH ALL THE APPLICABLE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT FOR MAKING BUILDING AND FACILITIES ACCESSIBLE AND USABLE BY PHYSICALLY HANDICAPPED PEOPLE TO THE BEST OF OUR PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF FOR THE SCOPE OF WORK HEREIN PERMITTED.
- ALL DOOR HARDWARE SHALL BE LEVER OPERATED TYPE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL APPLICABLE FIRE CODES.
- THE DESIGNER HAS NOT CONDUCTED ANY INVESTIGATION AS TO THE PRESENCE OF ASBESTOS OR OTHER HAZARDOUS SUBSTANCES ON THE PROJECT SITE AND ASSUMES NO RESPONSIBILITY WITH RESPECT TO SAME.
- ANY FUTURE TENANT WORK SHALL NOT ALTER THE FIRE RATINGS, ACCESSIBILITY, EXITING, WARRANTIES, STRUCTURAL INTEGRITY, AND CONSTRUCTION OF THE APPROVED AND PERMITTED BUILDING SHELL WITHOUT WRITTEN AUTHORIZATION OF THE BUILDING OWNER AND APPROVALS FROM THE CITY/COUNTY BUILDING OFFICIALS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING ALL WORK DURING CONSTRUCTION AND IMPLEMENTATION OF ALL SAFETY PROCEDURES IN ACCORDANCE WITH ALL APPLICABLE CODES.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL RELATED TRADES AND VENDORS NECESSARY FOR THE COMPLETION OF THE JOB ON A TIMELY BASIS.
- WHERE A DETAIL IS SHOWN FOR ONE CONDITION IT SHALL APPLY TO ALL LIKE OR SIMILAR CONDITIONS THOUGH NOT SPECIFICALLY MARKED.
- GENERAL CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO RELOCATE ANY EXISTING ITEMS THAT MAY INTERFERE WITH ALL NEW CONSTRUCTION.
- WES LACHOT DESIGN IS NOT LIABLE FOR, OR INVOLVED WITH, THE STRUCTURAL DESIGN, STABILITY, CONSTRUCTION, AND CONSTRUCTION ADMINISTRATION OF ANY AND ALL INFORMATION REPRESENTED IN THESE DOCUMENTS. ALL INFORMATION PRESENTED IN THESE DOCUMENTS SHOULD BE REVIEWED BY A LICENSED ARCHITECT AND/OR ENGINEER PRIOR TO CONSTRUCTION IF REQUIRED BY LAW. THE CLIENT IS RESPONSIBLE TO RESEARCH IF SEALED DOCUMENTS ARE REQUIRED AND MUST PURCHASE ALL PERMITS THAT PERTAIN TO THE DOCUMENTED PROJECT PRIOR TO CONSTRUCTION. THE INFORMATION HEREIN IS OF A PROPRIETARY NATURE AND IS SUBMITTED IN CONFIDENCE FOR USE BY OUR CLIENTS AND CUSTOMERS ONLY. UNAUTHORIZED REPRODUCTION, PUBLICATION, DISTRIBUTION OR DISSEMINATION, IN WHOLE OR IN PART IS PROHIBITED. ALL RIGHTS RESERVED.
- CONTRACTOR SHALL PROVIDE A FULL SET OF FULL-SIZE, PRINTED PLANS TO EACH OF THE SUBCONTRACTORS. ANY ELECTRONIC PLANS PROVIDED (PDFS, ETC.) SHALL BE IN ADDITION TO, AND NOT A SUBSTITUTION FOR PRINTED PLANS. ALL PAGES SHALL BE PROVIDED TO ALL SUBCONTRACTORS.

**ASKEW STUDIO**  
**STEVE ASKEW**  
**1099 PLUNKTON ROAD**  
**WARREN, VERMONT 05674**

**DRAWING INDEX**

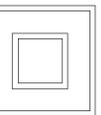
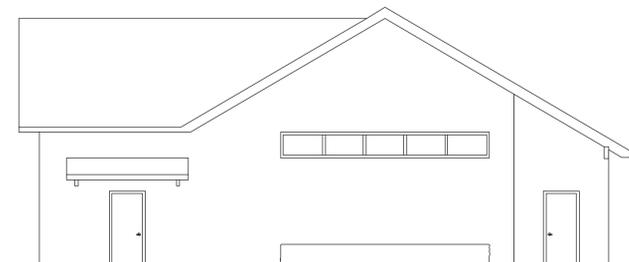
000	INDEX PAGE
001	SITE PLAN
A00	FOUNDATION PLAN
A00.5	SLAB CUT PLAN
A01	FLOOR PLAN
A02	ROOF PLAN
A03	CEILING FRAMING PLAN
A04	GYPSUM WALLBOARD FINISH PLAN
A05	ACOUSTIC SOFFIT FRAMING PLAN
A06	ACOUSTICAL FINISH PLAN
A07	ACOUSTICAL CLOUD PLAN
A08	REFLECTED CEILING PLAN
A10	EXTERIOR ELEVATIONS
A11	CONTROL ROOM ELEVATIONS
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A36	BIFFUSOR CONSTRUCTION DETAILS 1
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E1	ELECTRICAL PLAN
E2	LIGHTING PLAN
M1	MECHANICAL PLAN
SP1	SPECIFICATIONS 1
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TW1	TECHNICAL WIRING PLAN
TW2	CONSOLE & MONITORS
TW3	CREDENZA CONSTRUCTION DETAILS
TW4	END TABLE CONSTRUCTION DETAILS

**PLAN SET PREFIX KEY**

00	INDEX PAGE
A0	PLANS
A1	ELEVATIONS
A2	SECTIONS
A3	DETAILS

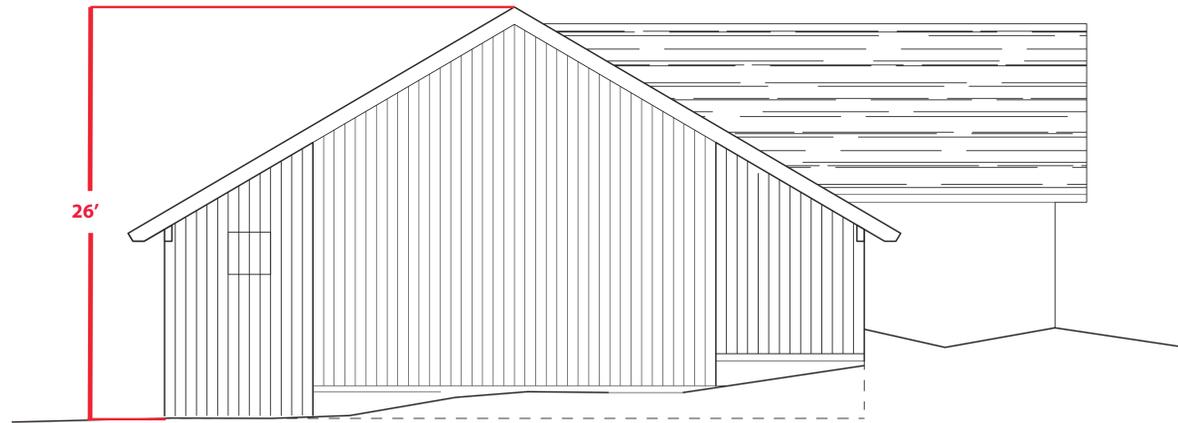
**LEGEND**

	BUILDING SECTION KEY
	WALL SECTION KEY
	ELEVATION KEY
	INTERIOR ELEVATION KEY
	DOOR TYPE/HARDWARE SET

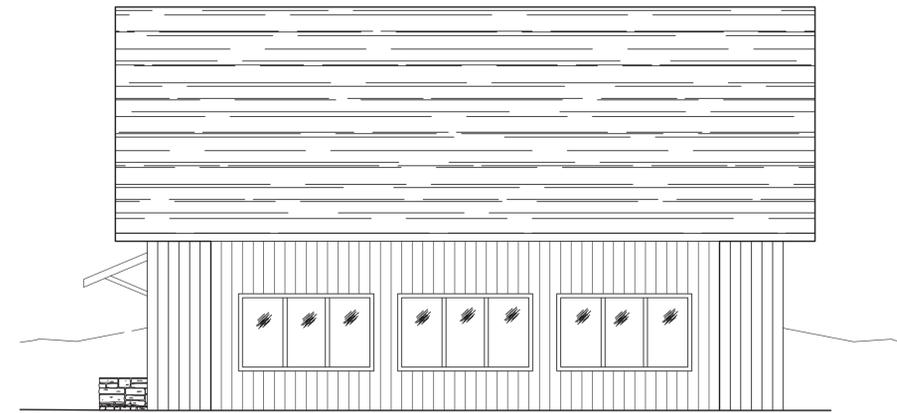


**INDEX**

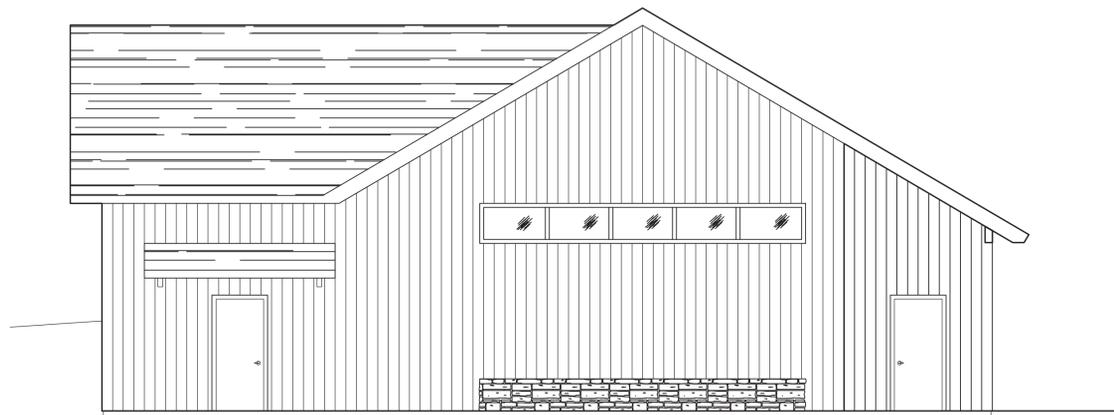
DATE: 4/18/14
REV: 6/3/14
REV: 9/25/14



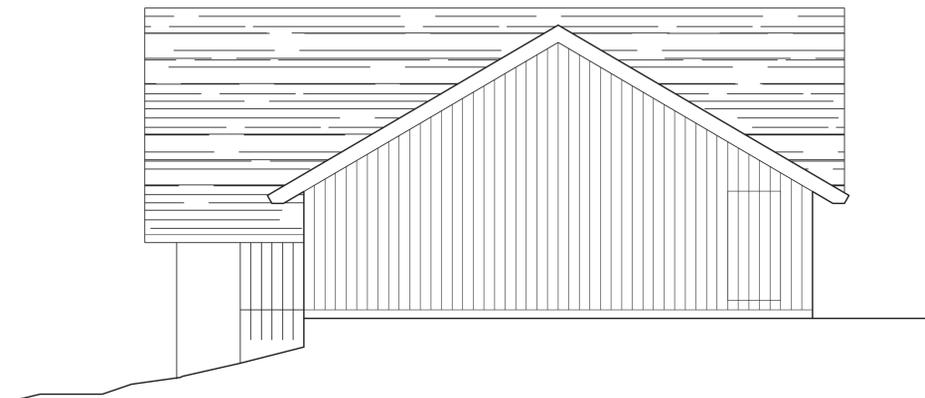
1 NORTHWEST ELEVATION  
A10 SCALE: 3/16" = 1'-0"



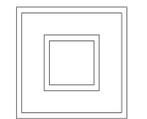
2 NORTHEAST ELEVATION  
A10 SCALE: 3/16" = 1'-0"



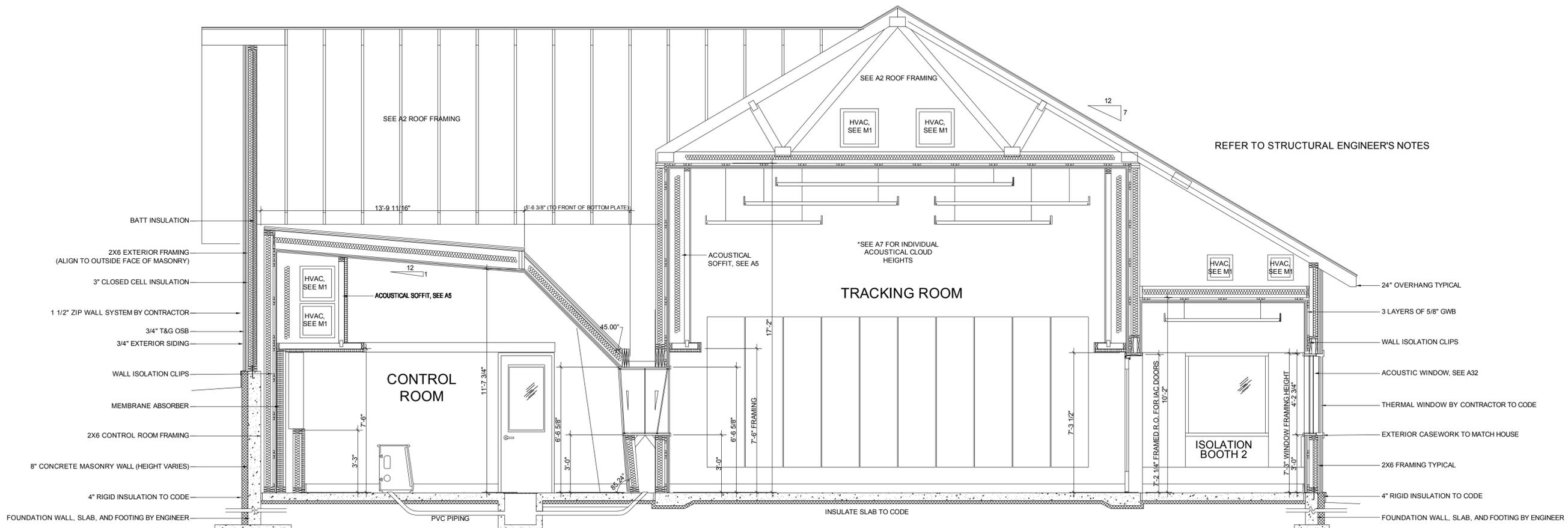
3 SOUTHEAST ELEVATION  
A10 SCALE: 3/16" = 1'-0"



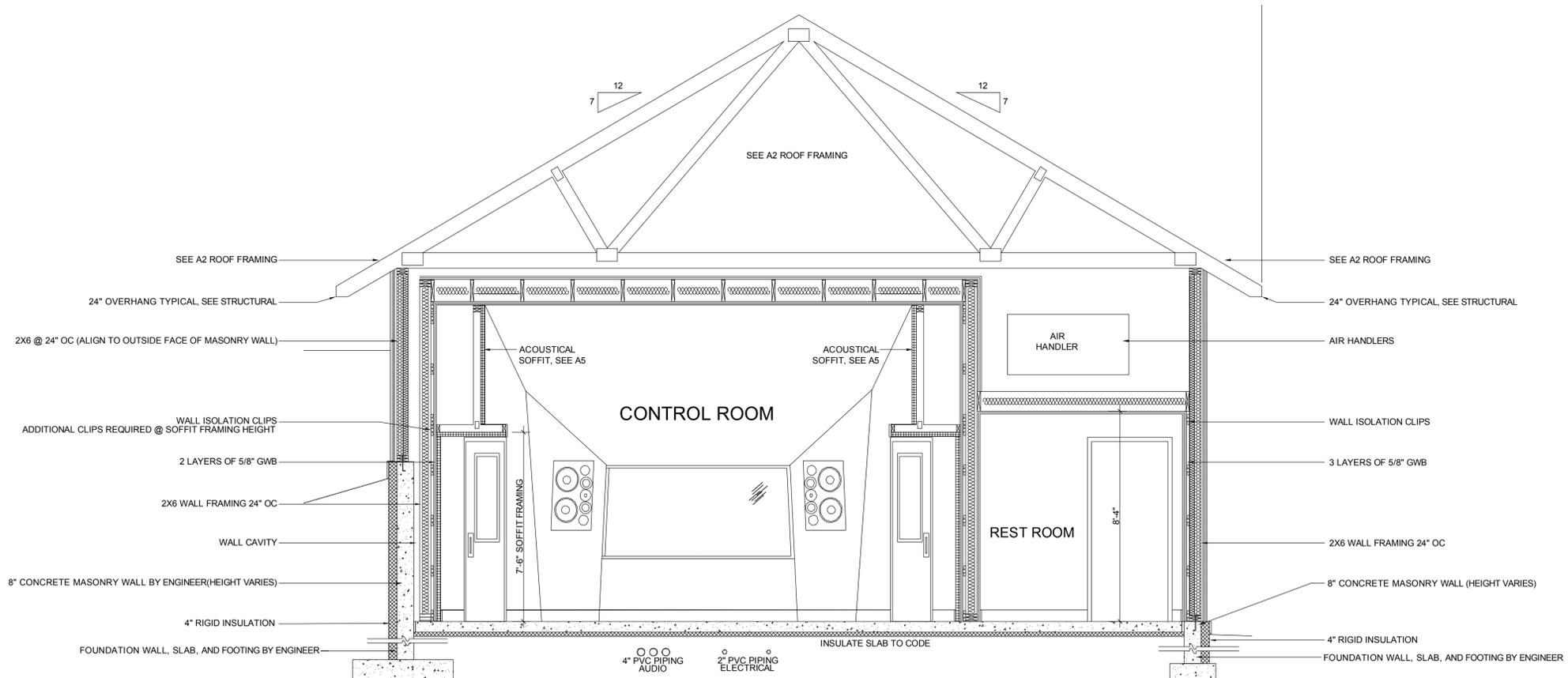
4 SOUTHWEST ELEVATION  
A10 SCALE: 3/16" = 1'-0"



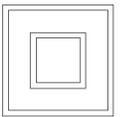




**1 BUILDING SECTION**  
 SCALE: 3/8" = 1'-0"



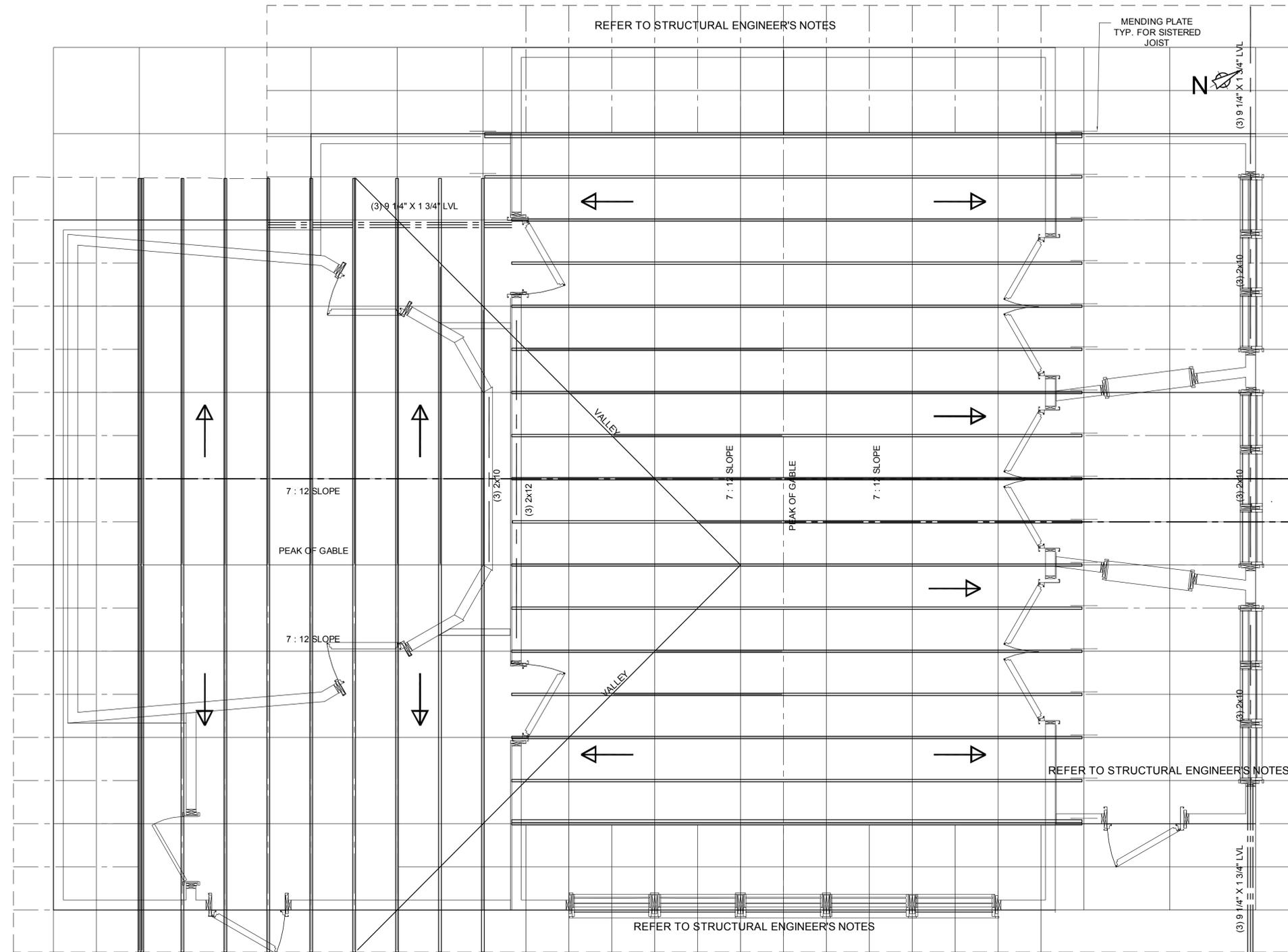
**2 BUILDING SECTION**  
 SCALE: 3/8" = 1'-0"



**ROOF PLAN**

DATE: 4/18/14
REV: 6/3/14
REV: 9/25/14

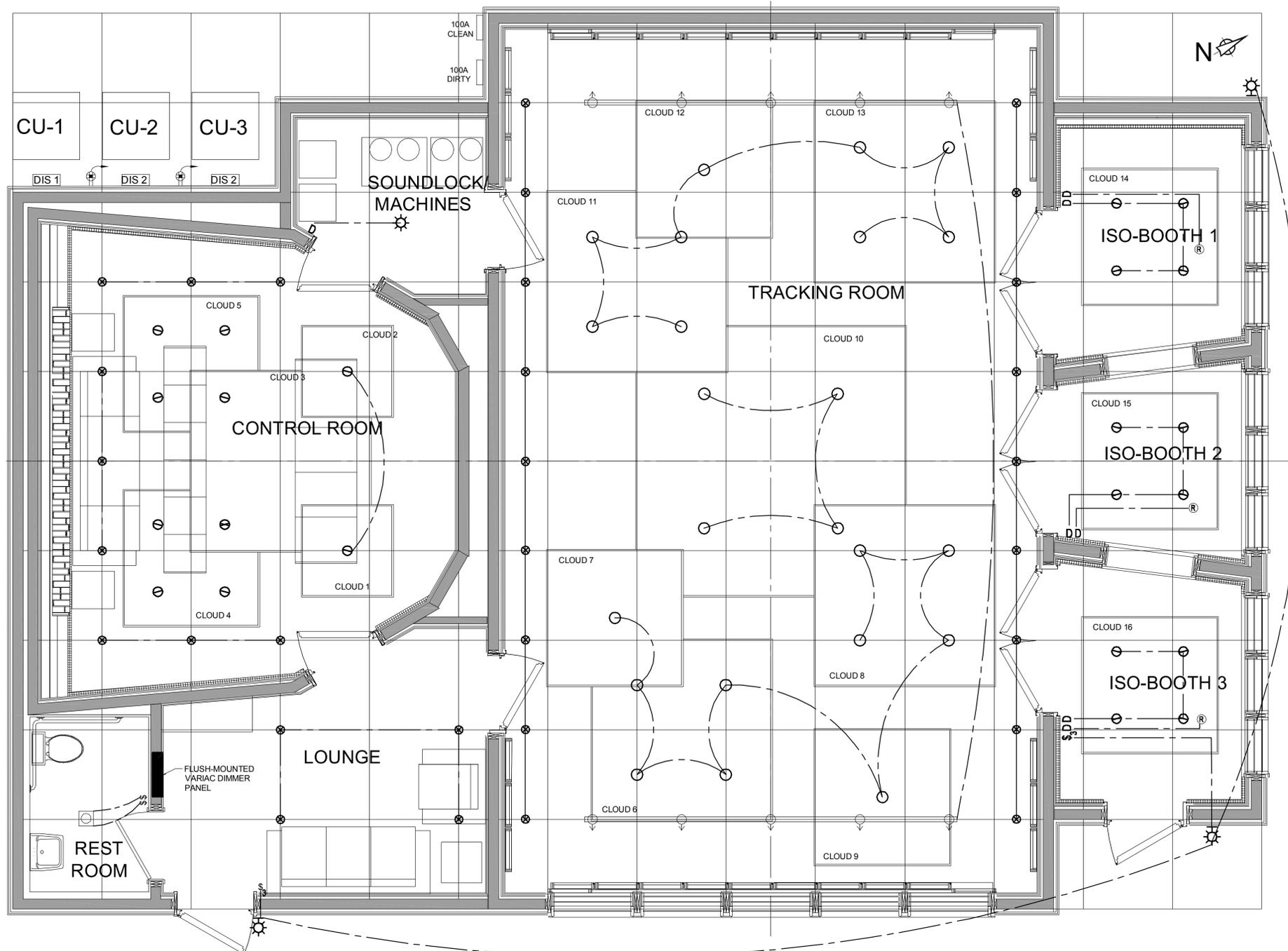
**A02**



**ROOFING**  
 ALL STRUCTURAL TO BE VERIFIED BY STRUCTURAL ENGINEER AND COORDINATED WITH WES LACHOT DESIGN.  
 ALL ROOFING AND FLASHING DETAILS AND SPECIFICATIONS TO BE SPECIFIED BY OWNER.

**1 ROOF PLAN**  
 A02 SCALE: 3/8"=1'-0"

REFER TO STRUCTURAL ENGINEER'S NOTES



### LIGHTING LEGEND

- 6" RECESSED IC RATED DOWNLIGHT IN SUSPENDED CEILING
- ⊙ 5" RECESSED IC RATED DOWNLIGHT IN CLOUD
- ⊗ 4" RECESSED IC RATED DOWNLIGHT IN SOFFIT
- ⊖ WALL MOUNTED LIGHT FIXTURE
- ⊕ LIGHT AND FAN FIXTURE
- ⊗ SURFACE MOUNTED LIGHT FIXTURE
- Ⓢ RECEPTACLE ON TOP OF SOFFIT SHELF FOR INDIRECT LIGHTING FIXTURES
- Ⓡ SURFACE MOUNT CEILING RECEPTACLE FOR INDIRECT LIGHTING FIXTURES
- Ⓢ WALL SWITCH
- Ⓢ3 3-WAY WALL SWITCH
- D DIMMER W/ REMOTE DEBUZZING COIL
- TRACK LIGHTING

### LIGHTING NOTES:

RECESSED IC RATED DOWNLIGHT IN CLOUDS SHALL BE LITHONIA LIGHTING- LIGHT CANS MODEL L3R.

RECESSED IC RATED DOWNLIGHT IN SOFFITS SHALL BE :  
 LITHONIA LIGHTING-LIGHT CANS MODEL L3R  
 "AIRTIGHT" & SUITABLE FOR DAMP LOCATIONS  
 RECESSED INCANDESCENT LUMINAIRE  
 CONVERTIBLE NON-IC/IC ROUGH-IN  
 SECTION MODEL L3R FOR USE WITH FINISHING SECTION SERIES 3.

ROPE LIGHTS FOR CLOUDS OR WALL PANELS SHALL BE INCANDESCENT TYPE, CONNECTED TOGETHER TO GET THE EXACT LENGTH NEEDED FOR EACH RUN. ROPE LIGHTS SHOULD HAVE A "WARM WHITE" COLOR TEMPERATURE.

DIMMERS SHALL BE LUTRON NOVA-T MODEL #NT-1000 COMMERCIAL TYPE DIMMERS. USE LUTRON MODEL #LDC-16-TCP LAMP DE-BUZZING COILS FOR ALL DIMMERS UNLESS A HIGHER WATTAGE LOAD RATED LAMP DE-BUZZING COIL IS REQUIRED. IN WHICH CASE A SIMILAR QUALITY UNIT SHOULD BE USED (COUNT LIGHTING PER CIRCUIT). CUSTOM MULTI-GANGED STAINLESS STEEL COVER PLATES CAN BE SPECIAL ORDERED THROUGH A LUTRON DEALER. (PLEASE NOTE THAT THE LAMP DE-BUZZING COILS MUST BE MOUNTED IN A REMOTE LOCATION SUCH AS THE ATTIC SINCE THEY THEMSELVES MAKE NOISE.)

ALL LIGHT CANS IN THE SOUND ROOMS SHALL BE MOUNTED IN EITHER THE SUSPENDED CEILING CLOUDS OR THE SOFFITS (PLEASE REFER TO PLANS FOR DETAILS).

LIGHT SWITCH ARRANGEMENT (ORDER OF THE SWITCHES) AS SHOWN ON THE PLANS SHALL BE STRICTLY FOLLOWED.

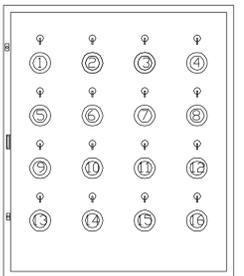
ALL RECESSED CAN LIGHTS SHALL BE FITTED WITH HALOGEN LIGHT BULBS WITH A SOFT LIGHT COATING.

ON LIGHTING PLAN PAGE, PLEASE NOTE THAT LOCATIONS OF ALL LIGHT CANS CONFORM TO A 24" GRID SPACING. CONFIRM LOCATIONS WITH DESIGNER IF THERE ARE ANY QUESTIONS AS TO THESE LOCATIONS.

WHERE RECESSED LIGHTS ARE MOUNTED IN CLOUDS, MC CABLE SHALL BE USED TO PENETRATE CEILING DRYWALL. CAULK FILLING ANY GAPS. ONE PENETRATION PER CIRCUIT IS ALL THAT IS REQUIRED, THEN LIGHTS MAY BE DAISY-CHAINED USING MC CABLE.

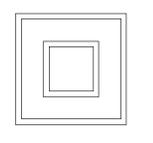
IF SURFACE-MOUNT FIXTURES ARE CALLED OUT, SOUNDPROOF LIGHTING ELECTRICAL BOX USING 2 LAYERS OF HILTI PUTTY PADS OR IDEAL DUCT SEAL #31-61.

1 LIGHTING PLAN  
 E2 SCALE: 3/8"=1'-0"



DIMMER 1 CONTROL RM. CLOUDS 1 & 2	DIMMER 2 CONTROL RM. CLOUDS 3, 4, 5	DIMMER 3 CONTROL RM. SOFFITS SIDE	DIMMER 4 CONTROL RM. SOFFIT REAR
DIMMER 5 LOUNGE	DIMMER 6 TRACKING RM. CLOUDS 6, 7, 8, 9	DIMMER 7 TRACKING RM. CLOUD 10	DIMMER 8 TRACKING RM. CLOUD 11, 12, 13
DIMMER 9 TRACKING RM. SOFFIT FRONT	DIMMER 10 TRACKING RM. SOFFIT REAR	DIMMER 11 TRACKING RM. TR. LIGHT L	DIMMER 12 TRACKING RM. TR. LIGHT R
DIMMER 13 MACHINE ROOM	DIMMER 14 ISO-BOOTH 1	DIMMER 15 ISO-BOOTH 2	DIMMER 16 ISO-BOOTH 3

2 VARIAC DIMMER LAYOUT DETAIL  
 E2 SCALE: NA



### LIGHTING PLAN

DATE: 4/18/14
REV: 6/3/14
REV: 9/25/14

# WES LACHOT DESIGN GROUP

1022 Cane Valley Lane  
Chapel Hill, NC 27516

April 14, 2015

To whom it may concern,

Steve Askew has asked me to provide a letter outlining some of the sound isolation strategies employed by my firm in designing his home studio at 1099 Plunkton Road in Warren, Vermont.

We at Wes Lachot Design Group specialize in recording studio design and sound isolation. We deal with soundproofing issues every day. Many of our clients are in residential locations, and none of our clients has ever had a noise complaint about their studios. This is due to the fact that we design to the highest professional standards, creating fully detailed blueprint sets that leave nothing to chance. In addition, we help our clients with project management, to ensure that the final product performs up to spec.

The exterior wall and roof/ceiling systems for the Askew project are designed to a specification of 70 dB STC, meaning that, for instance, a sound of 100 dB inside the studio will be cut to a level of approximately 30 dB just outside the studio walls (A-weighted). This is achieved by a combination of factors, such as:

- 1) Dual membrane, isolated wall and ceiling construction.
- 2) Specialized hardware creating floating wall and ceiling assemblies.
- 3) Extra-heavy massing of the wall and ceiling assemblies.
- 4) Viscous sound-dampening layers within the massing.
- 5) Triple-caulking of all assemblies, ensuring that there are no leaks.
- 6) Extra insulation to dampen resonant frequencies.
- 7) Door assemblies to be custom built by IAC, the leader in sound isolation doors; windows to be custom built to a similar standard.

The level of sound escaping the studio will be hardly noticeable — if noticeable at all — due to ambient outside sounds such as leaves rustling, wind noise, etc. Typical outside ambient noise levels would probably be at least 30 dB at night, and closer to 50 dB during the daytime. Even if the sound levels rose to very loud rock-type levels, sound escaping the studio should not be a problem.

One way of describing the level of sound-proofing would be to say that any sound emanating from the studio would typically be softer than that emanating from the average living room with a television or stereo playing at moderate volume. The sound from the studio will certainly not exceed the allowable limit at the lot line.

Please let me know if I can provide any more information or be of further assistance.

Sincerely,

A handwritten signature in black ink, appearing to read 'Wes Lachot', with a long horizontal stroke extending to the right.

Wes Lachot

Wes Lachot Design Group  
(919) 942-9434 office  
(919) 605-3343 mobile  
[www.weslachot.com](http://www.weslachot.com)

TOWN OF WARREN  
PO BOX 337  
WARREN, VT 05674  
PHONE (802) 496-2709  
FAX (802) 496-2418

CONDITIONAL USE REVIEW – WORKSHEET

Parcel #: <u>028002-200</u>
Permit #: <u>2014-19-CU</u>
Date Received: _____
(To be completed by Town of Warren staff)

**Applicant:** ASKEW STEVE & KUCERA LEAH ELLEN.

**Address:** 1099 PLUNKTON RD

**Phone:** 802.498.5158 (cell), 802.496.9440 (h)

**Landowner:** -same-

**Address:** \_\_\_\_\_

**Phone:** \_\_\_\_\_

**Contact Person:** STEVE ASKEW

**Address:** -same-

**Phone:** -same-

**Brief description of the proposed development:** (14) Gallery/Artist Studio, Page 9  
We would like to build a music/recording studio building to be used as a home occupation for Steve's business as a recording engineer / producer. The building has been professionally designed to be soundproof to 60dB. The access to the building will be via our current driveway entrance onto our property. The building itself will be shielded from the road and abutters with existing trees and additional trees/shrubs.

**SECTION 4.8 (B)Cottage Industry.** Cottage industries (as distinguished from Home Occupations) may be permitted in designated zoning districts subject to conditional use review in accordance with Article 5 and the following provisions:

- (1) The owner and operator of the cottage industry shall reside on the lot.

- (2) The cottage industry shall be carried on within the principal dwelling and/or accessory structure(s) providing the use of such space does not change the character of the property or neighborhood.
- (3) The business shall not necessitate any change in the outward appearance of the dwelling unit or accessory structures on the lot.
- (4) The residents of the dwelling unit, and no more than six (6) nonresident employees may be employed on-site at any one time.
- (5) The business shall not generate traffic, including but not limited to delivery truck traffic, in excess of volumes that are characteristic of the neighborhood.
- (6) Adequate off-street parking shall be provided for all residents, employees and customers in accordance with Section 3.10.
- (7) Adequate provision for water supply and wastewater disposal shall be provided.
- (8) Cottage industries shall conform to all performance standards under Section 3.11. There shall be no storage of hazardous waste or materials; fuel storage shall be limited to that needed for heating.
- (9) The business shall be visually compatible with neighboring lots and uses; landscaping and screening may be required as appropriate. In addition, any outdoor storage of materials, including building or construction materials, unregistered vehicles or heavy equipment, firewood or lumber, must be completely screened year-round from the road and from neighboring properties.
- (10) On-site wholesale and/or retail sales shall be limited to products produced on the premises.
- (11) No cottage industry shall operate at a scale or density that would diminish the residential character of the neighborhood.
- (12) The permit for a cottage industry shall clearly state that the industry is a home-based business which is accessory to the principal residential use, and shall be retained in common ownership and management. A cottage industry may be subdivided and/or converted for sale or use apart from the residential use only if it meets all current municipal and state regulations pertaining to such use, including density, dimensional, and other requirements for the district in which it is located. Separate permits shall be required as appropriate prior to subdivision, sale and/or conversion.

\_\_\_\_\_ **cottage industry** \_\_\_\_\_

7. Attached evidence of written notification to all adjacent property owners, together with a copy of the documentation sent to adjoiningers to explain the project (see Section 9.8).
8. Attach a narrative describing the proposed **Conditional Use** (see Articles 5). (see worksheet)
9. Attach a complete sketch plan (see Table 5.1) of the project.
10. To facilitate the subdivision, **Conditional Use** approval process, the applicant should consult the any related Town of Warren Departments, if required, before the meeting with the Development Review Board.

Please respond to the following criteria and sub-criteria. Please attach additional pages if the space provided below is insufficient. For clarification of the following criteria, please refer to the WARREN LAND USE & DEVELOPMENT REGULATIONS, Article 5, Section 5.3 – Conditional Use Review Standards.

**Section 5.3 (A) – General Standards.** How does the proposed development affect the following:

**(1) The capacity of existing or planned community facilities or services.**

N/A

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**(2) Character of the neighborhood or area affected.**

The building will be constructed to appear similar to a barn or workshop in keeping with other similar buildings in the neighborhood. Traffic will be minimal if any and access is via our existing driveway. The building will be screened from the road and abutters using existing trees and additional trees/shubs as needed.

**(3) Traffic on roads and highways in the vicinity.**

The use will not generate any traffic not in keeping with current residential traffic flows.

**(4) Bylaws now in effect.**

N/A

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**(5) The utilization of renewable energy resources.**

We are considering the use of solar panels to offset energy consumption, but we are as of yet undecided.

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**5.3 (B) – Specific Standards.** Briefly address each of the following standards as they apply to the proposed development:

**(1) Building Design.** The height of the building will be approximately 26’ at the ridge with vertical wood siding in keeping with many local barns and workshop buildings. We will conform to all established setbacks from the road and adjoining property lines.

**(2) Traffic Circulation & Access.** (See Section 3.1) No curb cuts are being requested, and minimal traffic will flow thru our existing driveway.

**(3) Bicycle & Pedestrian Access.** Access as stated previously.

**(4) Parking & Service Areas.** (See Section 3.10) We will include an area for a couple of vehicles and a turnaround to the north & east of the building.

**(5) Outdoor Storage & Display.** No plans to store or display anything outdoors.

**(6) Landscaping & Screening.** The Plunkton Rd side of the site will be screened from the road with existing trees and/or new trees and shrubs. The south and east sides will be screened from neighbors with existing woodlands. The north side will be exposed, but landscaped to compliment the existing home site landscape aesthetic.

**(7) Protection of Natural Resources.** (See Section 7.4) The building does not interfere with any areas outlined in Article 5.

**(8) Erosion Control.** (See Sections 3.4 & 7.5) \_\_\_\_\_

**(9) Surface Water Protection.** (See Section 3.13) N/A

**(10) Lighting.** (See Section 3.9) Exterior lighting will be minimal residential style lighting and conform to all standards in Sections 3.9 B & C. There will be standard residential style motion lights on each corner of the building. The east side entry will also have low level entry lighting.

**(11) Performance Standards.** (See Section 3.11) The building and use will conform to all performance standards. As indicated previously the building is professionally designed to be soundproof to 60 dB under the 70dB requirement.

**(C) District Standards.** In addition to the above standards, please attach separate pages to respond to the following standards for proposed projects within the specified districts. For clarification of the following criteria, please refer to the WARREN LAND USE & DEVELOPMENT REGULATIONS, Article 2 – Zoning Districts & District Standards and Article 5, Section 5.3 (C) – District Standards.

**(1) Lincoln Peak Growth Center.** (Conditional uses within the Sugarbush Village Commercial (SVC), Sugarbush Village Residential (SVR) and German Flats Commercial (GFC) Districts)

**(2) Warren Village.** (Conditional uses within the Warren Village Commercial (WVC) and Warren Village Historic Residential (WVR) Districts)

**(3) Meadowland Overlay District.** (Uses within the Meadowland Overlay (MO) District)

**(4) Forest Reserve District.** (Uses within the Forest Reserve (FR) District)

**(D) Flood Hazard Overlay District Standards.** (Uses within the Flood Hazard Overlay (FHO) District)

N/A